

City of San Jose Building Permit Application Worksheet

PLEASE PRINT CLEARLY AND FILL IN ALL THAT APPLY

Address: 2391 RICHLAND AV Bldg No. Suite/Apt No.
 Type of Construction: ☒ Nonresidential ☒ Residential ☒ Building ☐ Plumbing ☒ Mechanical ☒ Electrical
 Hazardous Materials ☐ Yes ☒ No Existing Use: SPR Fire Sprinklers ☐ Yes ☒ No
 Proposed Use: SPR
 Assessor's Parcel #: 439-33-017 Tract #: Lot #: Annexation #:

DESCRIPTION OF WORK: (Please fill-in all that apply) Construction Valuation: \$
 Permit Application for: ☐ Nonresidential ☒ Residential ☒ Building ☐ Plumbing ☒ Mechanical ☒ Electrical
☒ New Building ☐ Addition ☐ Alteration ☐ Finish Interior ☐ Moved Building
☐ Sign ☐ Swimming Pool/Spa ☐ Water heater Change ☐ Furnace Change ☐ Service Change Amps
☒ Demolish ☐ Termite/Dry Rot Repair ☐ Fire Repair ☐ Chimney repair ☐ Repair/Retrofit
☐ Phased Permit ☐ Other
 Description: NEW SE 3091 SE DEMO (E) DEF.
TEMP POWER w/ (452 # ATT 6M).
OWNER - CALVIN
(1257 #)

DESCRIPTION OF BUILDING: (Please fill-in all that apply)
☐ Office/Bank/Professional ☒ Single Family ☐ Duplex ☐ Townhouse ☐ Condominium ☐ Apartment
☐ Hotel/Motel ☐ Amusement/Recreation ☐ Industrial ☐ Service Station ☐ Medical Building
☐ Restaurant ☐ Accessory Building ☐ Historical ☐ Educational/School
☐ Church/Assembly ☐ Store ☐ Other
 Building Area: Sq. Ft. Building Height: Ft. Stories: 2
 Existing Floor area 1257 Garage Other # Units 1 Parking Spaces 2
 Proposed Floor area 3091 Garage 452 Other # Units Parking Spaces
 Total No. of Bedrooms: Total No. of Bathrooms: Total No. of Rooms:

SITE INFORMATION: Map Coordinates PG 114 VT 39 HZ 60
 Lot size (Sq.Ft.) NO TRACT # Lot dimensions (Front/Side/Rear) / / Coverage %
 Setbacks: Front: Rear: Left: Right:
 Easement: Front: Rear: Left: Right:
☐ Sewer ☐ Septic Water Wells ☐ Yes ☐ No

Office Use Only

Plan Check Required ☒ Yes ☐ No ☐ Express Plan Check
☐ Building Permit Not Required ☐ Building Permit Confirmed # ☒ Address Confirmed
 Occupancy of Last Finish Interior Finaled ☐ Certificate of Occupancy Req'd Intake Technicians Initials CLW

Clearances Required	Confirmed	Clearances Required	Confirmed
Fire Hazmat Review <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Park Fees Req'd <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Alternate Material Design Request <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	P/W Development Clearance <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Unreasonable Hardship <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	P/W Geo-hazard Clearance <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Special Inspection <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	P/W Flood Certificate <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Structural Observation <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Water Pollution Control <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Planning: Permit # <u> </u>	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Health Department <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
		Water Service <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Fee Exemption Type: <u>11A</u>		BAAQMD <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Applicable codes: <u>UBC/UPC/IRC 97</u> NEC <u>96</u>		School Fees Req'd <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Disabled Access <u> </u> Energy <u>98</u>		Other <u>SFH</u>	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Special Conditions: 1934 # NEW AREA
ELEC, PLUMB, MECH @ 109 #
SAN JOSE UNIFIED

Permits For: <input checked="" type="checkbox"/> BLDG <input checked="" type="checkbox"/> PLUMB <input checked="" type="checkbox"/> MECH <input checked="" type="checkbox"/> ELECT	Plans in Field: <input checked="" type="checkbox"/> B <input type="checkbox"/> P <input type="checkbox"/> M <input type="checkbox"/> E
Authorized By: <u>SP</u>	Building Valuation: \$ <u>203,357</u>
Application Date: <u>5/8/00</u>	Plan Check Number <u>0001058</u>
Permit Date: <u>5/8/00</u>	Permit Number <u>BEPM0057972</u> Inspection Area <u>6</u>
Issued By: Print <u>CLW</u> Sig <u>CLW</u>	Office Plan Filed in: <input checked="" type="checkbox"/> Vault <input type="checkbox"/> Flat File <input type="checkbox"/> CRIS

White Office Copy - Manila Field Copy

City of San Jose Building Permit

Date: 5-8-00
APPL./PERMIT #: 2EPM005722

PROJECT ADDRESS: 2391 HIGHLAND AVE (Please print clearly and fill in all that apply)

<input type="checkbox"/> PROPERTY OWNER APPLICANTS NAME: <u>MICHAEL GALVIN</u> MAILING ADDRESS: <u>1432 LIPTON AVE</u> CITY/STATE/ZIP: <u>SJ CA 95125</u> PHONE #: <u>(408) 294 2924</u> FAX #: <u>() 294 3954</u> E-MAIL ADDRESS: <u>UM617@ACBELL.NET</u> TENANT COMPANY NAME: _____ OWNERS NAME: <u>MICHAEL GALVIN</u> PHONE #: <u>()</u> FAX #: <u>()</u> (Jurisdictions may require written approval from the owner)	<input type="checkbox"/> ARCHITECT <input type="checkbox"/> ENGINEER <input checked="" type="checkbox"/> CONTRACTOR LICENSE/REGISTRATION #: <u>B 585026</u> NAME: <u>MICHAEL GALVIN</u> COMPANY NAME: <u>CLADDACH CONST. INC.</u> MAILING ADDRESS: <u>1432 LIPTON AVE</u> CITY/STATE/ZIP: <u>SJ CA 95125</u> PHONE #: <u>(408) 294 2924</u> FAX #: <u>(408) 294 3954</u> E-MAIL ADDRESS: _____
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PROJECT CONTACT PERSON: AS ABOVE PHONE #: () FAX #: ()
ADDRESS: _____ E-MAIL ADDRESS: _____

LICENSE #: _____ LIC. CLASS(ES): ☒ CONTRACTOR ☒ OWNER-BUILDER PHONE #: ()
COMPANY NAME: _____ FAX #: ()
ADDRESS: _____ E-MAIL ADDRESS: _____
CITY/STATE/ZIP: SJ CA BUSINESS LIC. #: _____

Licensed Contractors Declaration: I hereby affirm under penalty of perjury that I am licensed under provisions of Chapter 9 (commencing with Section 7000) of Division 3 of the Business and Professions Code, and my license is in full force and effect. Date: _____ Contractor Signature: _____

Owner-Builder Declaration: I hereby affirm under penalty of perjury that I am exempt from the Contractors License Law for the following reason (Sec. 7031.5 Business and Professions Code: Any city or county which requires a permit to construct, alter, improve, demolish, or repair any structure, prior to its issuance, also requires the applicant for the permit to file a signed statement that he or she is licensed pursuant to the provisions of the Contractors License Law (Chapter 9, (commencing with Section 7000) of Division 3 of the Business and Professions Code) or that he or she is exempt therefrom and the basis for the alleged exemption. Any violation of Section 7031.5 by any applicant for a permit subjects the applicant to a civil penalty of not more than five hundred dollars (\$500):

- ☐ I, as owner of the property, or my employees with wages as their sole compensation, will do the work, and the structure is not intended or offered for sale (Sec. 7044, Business and Professions Code: The Contractor License Law does not apply to an owner of property who builds or improves thereon, and who does such work himself or herself or through his or her own employees, provided that the improvements are not intended or offered for sale. If, however, the building or improvement is sold within one year of completion, the owner-builder will have the burden of proving that he or she did not build or improve for the purpose of sale).
- ☒ I, as owner of property, am exclusively contracting with licensed contractors to construct the project (Sec. 7044, Business and Professions Code: The Contractors License Law does not apply to an owner of property who builds or improves thereon, and who contracts for the project with a contractor(s) licensed pursuant to the Contractors License Law).
- ☒ I am exempt under Sec. _____, B & P.C. for this reason _____

Date: 05/04/00 Owner Signature: X Michael Galvin

Workers' Compensation Declaration: I hereby affirm under penalty of perjury one of the following declarations:

☐ I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided for by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

☒ I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

CARRIER: MID CENTURY POLICY NO. _____

(This section need not be completed if the permit is for one hundred dollars (\$100) or less.)

- ☐ I certify that, in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California, and agree that if I should become subject to the workers' compensation provisions of Section 3700 of the Labor Code, I shall forthwith comply with those provisions.

Date: 05/04/00 Applicant Signature: X Michael Galvin

WARNING: Failure to secure workers' compensation coverage is unlawful, and shall subject an employer to criminal penalties and civil fines up to one hundred thousand dollars (\$100,000), in addition to the cost of compensation, damages as provided for in Section 3706 of the Labor Code, interest, and attorney fees.

Construction Lending Agency Declaration: I hereby affirm under penalty of perjury that there is a construction lending agency for the performance of the work for which this permit is issued (Sec. 3097, Civ. C.).

Lender's Name: _____ Lender's Address: _____

I Certify that I have read this application and state that the above information is correct. I agree to comply with all city and county ordinances and state laws relating to building construction and hereby authorize representatives of this county to enter upon the above-mentioned property for inspection purposes.

Signature of Applicant: Michael Galvin Date: 5-18-00

Printed Name of Applicant: MICHAEL GALVIN

DEPARTMENT OF PLANNING AND BUILDING
BUILDING DIVISION, 801 N. FIRST ST., RM 200
SAN JOSE, CA 95110
(408) 277-4541

CR# 00-57972 NC
NR
(R)

Date: 08-May-2000

Project #: 8846318 00 02 001 000 107
Issued by: CLW

C A S H R E C E I P T


Received from : FRANCES GALVIN
Amount : \$ 6,945.68
FOR : PERMIT/S ISSUED
NEW SFR 3091 SF DEMOLISH EXISTING HOUSE
Issued to : 2391 RICHLAND AV
Permit Number : BEPM 00-57972 6 SF NC
Permit Date : 08-May-2000
Valuation : \$ 203,357.50

Fees Breakdown:

Bldg Plan Check (Suppl/Plot Review)	\$	15.14
Building Permit Fee	\$	977.50
Electrical Permit Fee	\$	278.19
Plumbing Permit Fee	\$	278.19
Mechanical Permit Fee	\$	278.19
SMIPA Tax	\$	20.34
B & S Tax	\$	1,921.85
CRMP Tax	\$	3,020.04
Energy Inspection Fee	\$	20.00
Permit Processing Fee	\$	100.00
Record Retention/Automation Fee	\$	36.24

(PAID BY CHECK# ~~287~~
Visa \$ 6,945.68
=====

Receipt of payment is hereby acknowledged:


C A S H I E R

THE FOLLOWING FORM IS MANDATED BY SECTION 19831
OF THE HEALTH AND SAFETY CODE OF THE STATE OF CALIFORNIA

ATTENTION PROPERTY OWNER OF: 2391 RICHMAN AVE
(Property Address)

An "owner-builder" building permit has been applied for in your name and bearing your signature.

Please complete and return this information at your earliest opportunity to avoid unnecessary delay in processing and issuing your building permit. No building permit will be issued until this verification is received.

1. I personally plan to provide the major labor and materials for construction of the proposed property improvement [yes () no (☒)].
2. I [have (☒) have not ()] signed an application for a building permit for the proposed work.
3. I have contracted with the following person (firm) to provide the proposed construction:

Name: CLADDACH CONST. INC.

Address: 1438 LUPTON AVE. SJ CA 95125

Phone: 408-294-2924 Contractor's License No.: 585026

4. I plan to provide portions of the work, but I have hired the following person to coordinate, supervise, and provide the major work.

Name: _____

Address: _____

Phone: _____ Contractor's License No.: _____

5. I will provide some of the work, but I have contracted (hired) the following persons to provide the work indicated:

Name	Address	Phone	Type of Work
_____	_____	_____	_____
_____	_____	_____	_____
_____	_____	_____	_____

Signed: Frances Galvin Print Name: FRANCES GALVIN

Date: 05/08/00

CITY OF SAN JOSE

Planning, Building and Code Enforcement

Single Family House Permit Processing Form

Project Address: 2391 RICHLAND AVE

Projects Plan Title: _____ revised _____

- A. Lot size
- B. Gross house size (Excludes Garages, basements and accessory structures)
- C. Sq. ft. of equivalent floor area (EFA) See attachment for instructions
- D. Total sq. ft. of structure (add B & C)
- E. Calculate Floor Area Ratio (divide D by A)

9254 sq. ft. ✓

3091 sq. ft. ✓

229 sq. ft. ✓

3320 sq. ft. ✓

.358 F.A.R. ✓

13

Single Family House Permit Determination Checklist

- | | YES | NO |
|--|--------------------------|-------------------------------------|
| 1. Is the new house or addition greater than 30 feet in height? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 2. Is the new house or addition greater than 2 stories? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 3. Is the floor area ratio of your house greater than .45? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 4. Is the house or site a designated City Landmark? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 5. Is the house or site identified on the City Historic Resources Inventory? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| 6. Is the house or site located in a Historic District or Conservation Area? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

If yes, to any of the above questions you need a Single Family House Permit.

I certify that the foregoing statements are true and correct to the best of my knowledge. I understand that a misrepresentation of any submitted data may invalidate an approval by the City of San Jose Building Division. I understand that any change to the proposed structure during the Plan Check process may change the determination that a Single Family House Permit is or is not required, or the type approval required for a Single Family House Permit.

Based on the information provided above, a Single-Family House Permit ☐ is ☒ is not required for this proposed house. If a Single-Family House Permit is not required, then a Building Permit may be obtained without further approval by the Planning Divisions. Any change to the proposed structure during the Plan Check process may change the determination that a Single Family House Permit is or is not required, or may change the type of approval required for a Single Family House Permit.

Ymgalrin
Applicant's Signature

08/04/00
Date

[Signature]
Planning Division Staff Signature

5/4/00
Date

How do I calculate my floor area ratio (F.A.R.)

Recommended Floor Area Ratio Definition

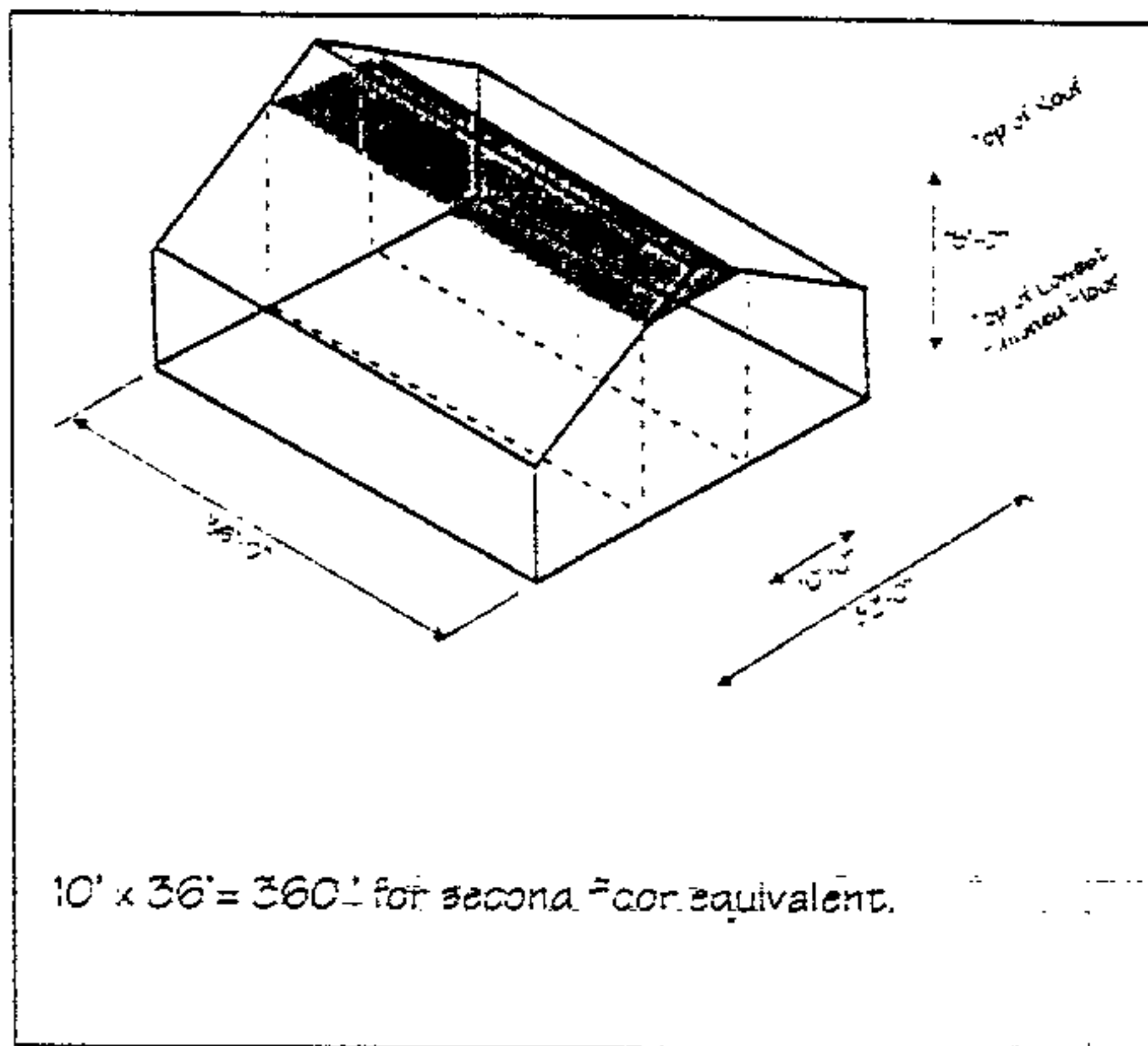
For the purpose of measuring floor area ratio in residential uses, the F.A.R. includes the sum of all the floors in a main structure measured to the outside surface of the exterior walls. It includes stairwells at all floors, and all areas that are greater than 50% enclosed with walls and covered. Also, in order to accurately assess the mass and bulk of a structure, second and third floor equivalents are used in determining floor area ratio.

A Second Floor Equivalent exists in any area of a structure where the distance between the first floor (other than a basement) and the top of the roof directly above it, is 15 feet or more. (Example 1)

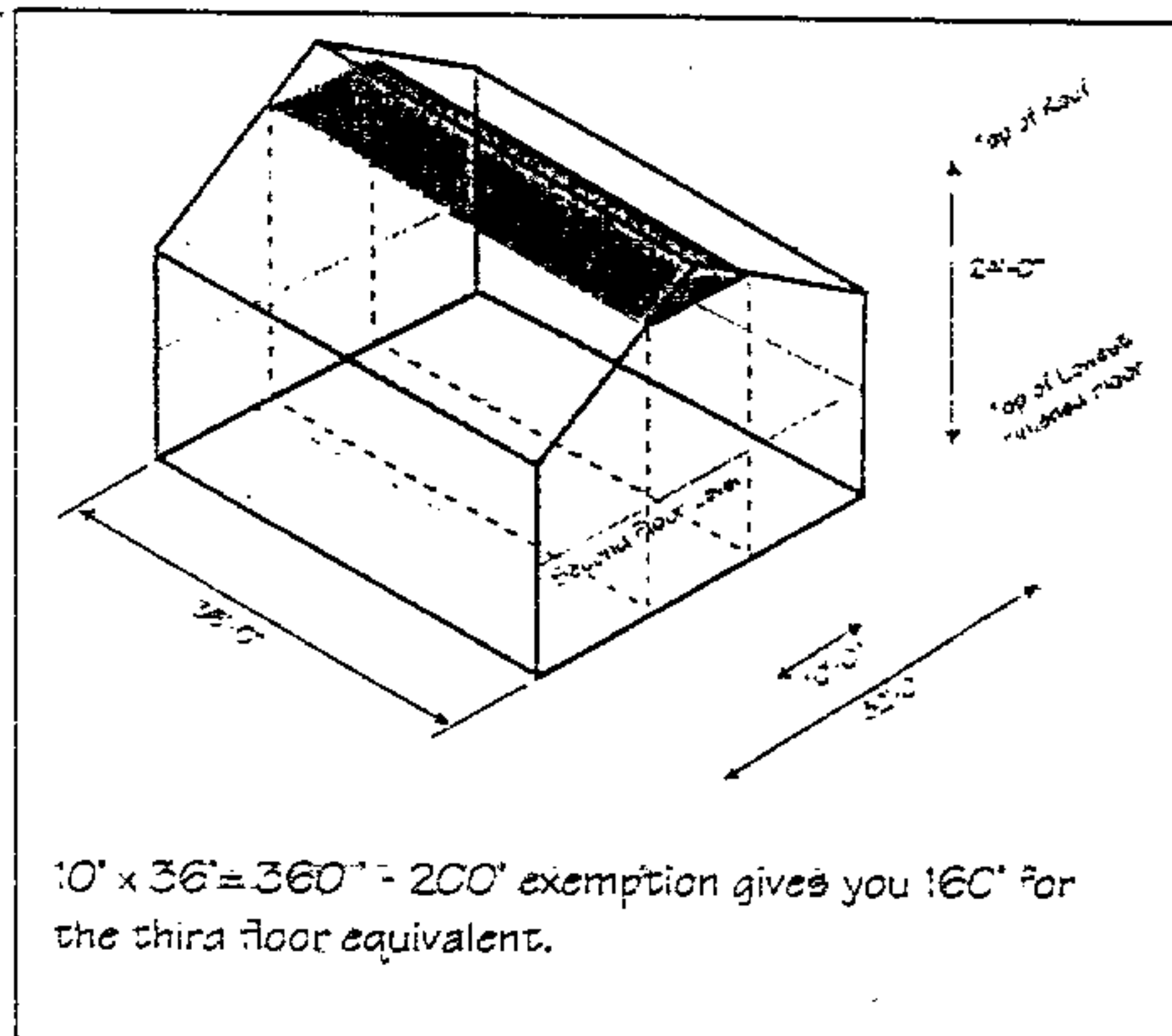
A Third floor Equivalent exists in any area of a structure where the distance between the first floor (other than a basement) and the top of the roof directly above it is 24 feet or more. However, in the case of a third story equivalent, there is a 200 square foot exemption. (Example 2)

Excluded from the calculation of F.A.R. for residential purposes are basements if they do not meet the definition of "story" in Title 20.

Example 1



Example 2



$$\begin{array}{r} 2^{nd} \text{ FL EQ} \\ 2 \times 5 = 35 \end{array}$$

$$3^{rd} \text{ FL EQ}$$

$$35 \times 5.5 = 192.5$$

$$31 \times 6.5 = 201.5$$

$$394.0$$

$$- 200$$

$$194$$

EXEMPTION